

builder'smate



A PERFECTLY TIMED DELIVERY

Whether it's delivering the punchline of a joke or sending a cricket ball down the pitch, timing is everything. That's true of worksite deliveries too – you want the right quantities delivered undamaged in time for the job to go smoothly but not so far ahead that there are problems with weather exposure or security. How do you achieve it?

What good delivery planning means:

- Working closely with suppliers to work out when they need to receive an order. In some cases, there can be long lead times between orders being placed and materials being delivered.
- Making a written plan before work starts so there are no delays because something was forgotten or ordered too late.
- Checking the availability of materials well before you need them – if necessary, you may need to lock in the required quantity and pay a deposit to secure the materials. ➤



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ToolShed Rail Saw
worth \$399!

INDUSTRY NEWS

Hot competition

A record 439,689 New Zealanders switched electricity companies in 2017, the Electricity Authority said in its recently released annual report. Average available savings were estimated at over \$200. In Bay of Plenty and Marlborough, average annual residential savings of over \$350 were available.

By June this year, 52 electricity retailers were supplying New Zealand households – a big jump from 40 the previous year. See www.ea.govt.nz/about-us/media-and-publications/market-commentary.

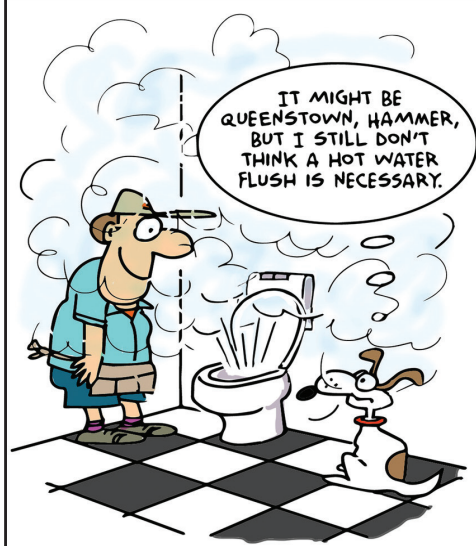
Subbies unprotected?

A third of the construction companies recently surveyed by BDO chartered accountants did not say if they were holding money for subbies in a trust or an insurance policy. Since March 2017, this has been a legal requirement. It is designed to protect subbies if contractors go bust. The law gives subbies the right to check trust funds to make sure the money is there.

New toolkit on noise

WorkSafe has launched a new toolkit to help businesses deal with noise. It is full of useful information. See www.worksafe.govt.nz/topic-and-industry/noise.

HAMMER 'N' NAILS





When arranging the delivery of cladding, bear in mind the limited time wall underlay can be exposed to the weather.

- The site is always ready to receive materials – space is available for the correct storage, there are no security risks and vulnerable materials are not exposed to the weather.
- Materials are not delivered long before they are needed, reducing working space or being at risk of damage.

- Space has been prepared if a product needs to be unwrapped, unfolded or stacked to adjust to temperature/moisture level before installation.

A key part of planning for material deliveries is knowing the requirements and limitations of materials and the building sequence. For example, once the wall underlay is installed, the clock is ticking to get the cladding on. Manufacturers set a limit for how long underlay can be exposed to wind, rain and UV light.

On the other hand, the cladding shouldn't be installed too soon, before key construction tasks are done or the framing is dry enough. Sealing pipe penetrations to the underlay is important for weathertightness, for example, and can't be done once the cladding is on.

Some long-term planning has to be done on the basis of a calculated guess. For example, fixed floor coverings shouldn't be installed on a new concrete floor until the relative humidity is 75% or less (70% or less for wood-based flooring is preferable). It can take 4 months or more for a slab to dry to this level. Ordering the delivery of flooring has to take this uncertainty into account.

On the other hand, flooring can't just be delivered on the day the team is ready to install it, because it needs time to acclimatise before installation. Packets of wood-based flooring need to be unwrapped and stacked inside the building for at least 2 days. [Manufactured products are often supplied with a very low moisture content, so they swell up when exposed to the air.]

Requirements can be stricter for climate-controlled spaces. Installation information from one manufacturer of solid tongue and groove flooring states: "Before installation, allow flooring to acclimatise [by being fillet stacked to allow air movement around it] to the environment for at least two weeks with any air conditioning or heating running."

Even vinyl flooring should be unrolled for a few hours and allowed to relax and reach room temperature before it is laid.

In the same way that flooring cannot be installed on concrete that is too damp, linings should not go onto timber framing that is still damp.

In some cases, materials may be delivered earlier than expected or needed. If there is no storage space for them in a secure building or container, try to locate them so they cannot be taken easily. Putting heavy plant in front of them may help with security.

Keep a careful record of the deliveries you take and the condition of the materials being delivered. If there is something wrong with a delivery or a problem with the quality of the materials, get in touch with the supplier straight away. Taking photographs is a good idea.

Finally, have a reconciliation process to check actual supplies with those billed and arrange with a supplier in advance a method for returns and credits. Have a system to check that credit notes are issued and applied.

Micro-credentials up and running

In the last issue of *Builder's Mate*, we talked about the arrival of micro-credentials – bite-sized training qualifications. They are now up and running. The first one has been completed by a kitchen installer, Whitianga-based David Hall.

Micro-credentials are recognised by the New Zealand Qualifications Authority. The Building and Construction Industry Training Organisation (BCITO) refers to these learning achievements as managed traineeships.

BCITO Chief Executive Warwick Quinn congratulated the team at Mastercraft Whitianga.

Warwick says the new qualifications are a response to industry demands, and the BCITO will develop more specialised courses and introduce them around the country.

He says that forecasters see over 80,000 new and replacement job opportunities in the construction industry in the next 5 years, with a big demand for more skilled workers.

The government announced in August that it was recognising qualifications smaller than the limit of 40 credits.

Micro-credentials are certifications awarded for completing courses and achieving skills in specific areas. The micro-credential can stand alone as a valid and valuable recognition of learning – it is not just a stepping stone to something else. They can often be completed while someone continues to work full-time.

In addition to the BCITO, other education providers also offer micro-credentials.

VERANDA RAFTER FIXINGS

NZS 3604:2011 *Timber-framed buildings* is the go-to guide for most fixing questions, but it has some gaps. One of them is fixings for veranda rafters, which span between a ribbon plate attached to the building wall and a veranda beam (Figure 1).

How do you work out what's needed? You can't just use all the fixings for ordinary rafters because there is a wind uplift load under verandas in addition to the uplift forces acting on the top surface of the veranda roof, especially where the rafters overhang the veranda beam.

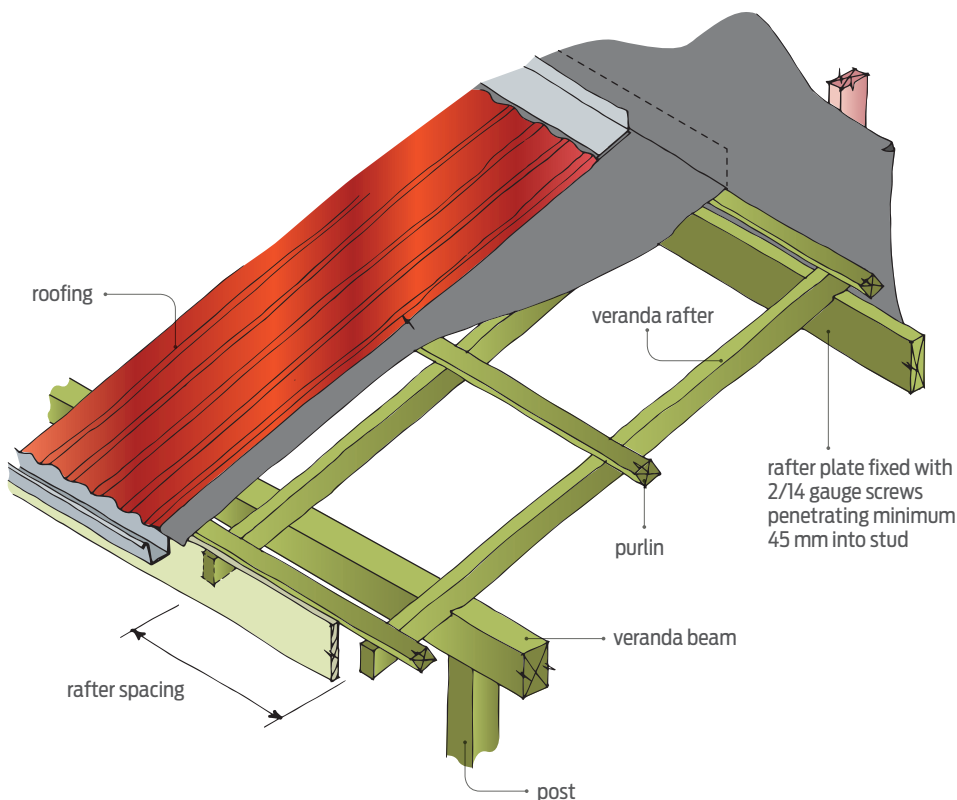
BRANZ suggests that Table 10.1 from the standard can be used as a starting point, with a few tweaks in some cases.

Where the veranda rafter spacing is less than 1200 mm, no adjustment is required, but where it is 1200 mm or more, use type F fixings to

the veranda beam. An alternative fixing with a capacity of 7.0 kN would also be suitable.

Rafter fixings to a ribbon plate can be the same as those in Table 10.1.

The ribbon plate should be the same size as the rafter and fixed to each stud with 2/14 gauge screws. Screw length should be sufficient to pass through the ribbon plate and cladding and penetrate at least 45 mm into the stud.



Veranda rafter fixing to beam when rafter spacing is:
≥1200 mm – use type F rather than type E (NZS 3604:2011 Table 10.1) or minimum 7.0 kN fixing capacity
<1200 mm – follow NZS 3604:2011 Table 10.1

Figure 1. Veranda rafter fixing.

build

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Competition

Here is a tool



What is it?

WIN!



ToolShed Rail Saw worth \$399!

This amazing plunge cut rail saw makes your work so much easier. Strong cast alloy base, blade housing and gear box. Powerful 1200w motor. Compatible with Makita rails.

The prize is provided courtesy of The ToolShed. All you need to do is tell us the name of the mystery tool at the top of the page.

Email your answer to buildersmate@branz.co.nz. Put "December Competition" in the subject line. The message should include your answer, your name, postal address and phone number. One entry per entrant please.

Don't forget to tell us where you picked up your copy of **Builder's Mate**! The winner will be the first correct entry drawn at 9 am on Friday 18 January 2019. Details will be posted on the BRANZ Ltd website (www.branz.nz) and in the next edition of **Builder's Mate** due out on 1 February 2019.



Winner of **Builder's Mate 91**, Annaliese Hill of Tauranga, collects her Milwaukee tool organiser pocket and tool prize.

Winner of **Builder's Mate 92** is Dave Doidge of Drury. Dave wins a HiKOKI circular saw. The mystery tool was a marking gauge.



Terms and conditions:

Entry is open to all New Zealand residents except employees and immediate families of BRANZ and The ToolShed shops. The competition will close at 9 am on Friday 18 January 2019. The prize is not transferable for cash. The judge's decision is final. No correspondence will be entered into.

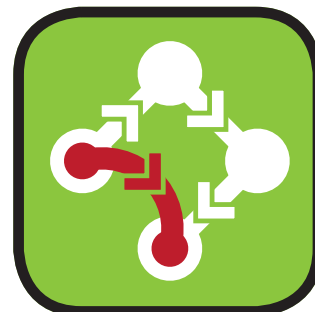
+ BUILDERS' APPS

In this series, we introduce some great apps and tools for your smartphone. The apps can be found in the iPhone store and/or the Android store. If you know any you'd like to recommend, email us the details at buildersmate@branz.co.nz.



NOTIFICATIONS SAVER

These apps log and keep all notifications safe for you to check later. Notifications are backed up and can be accessed from multiple devices. Some have 'do not disturb' features.



SHORTCUT APPS

Create personal shortcuts on your phone to go deep into another app or website or quickly access and manage content on your phone. There are many options available.



MEDIUM-DENSITY HOUSING



BUILDING HIGH-QUALITY, AFFORDABLE MEDIUM-DENSITY HOUSING

The Medium-Density Housing (MDH) web resource is a one-stop shop on how to achieve good MDH for New Zealanders.

It provides information and insights that can be used for developments, designs and builds, and features an extensive collection of resources, research reports, district plans and case studies.

By bringing together MDH knowledge and research from local and international sources, the site provides guidance and good practice on MDH project development, design and construction processes.

No need to search for information on MDH – it's all here in one place – www.mdh.org.nz

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