

BUILDER'S MATE

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Contracts are coming!

Soon, every residential building job worth \$20,000 or more will be likely to need a written contract. Builders who ignore this could face a \$200,000 fine.

If you don't use a contract on every job, it is a good idea to start. Even on small jobs, the letter confirming the scope and content of the agreed work can become a contract, provided the client agrees.

Bigger contracts don't have to be written from scratch. NZIA, Master Builders and Certified Builders >



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\$200!**



INDUSTRY NEWS

Cheap standards scam

If you think you've discovered a cheap way to buy New Zealand Standards on the internet, take care – there is a scam operating that will leave you out of pocket.

An offshore website offers standards such as NZS 3604 *Timber-framed buildings* at a discount to the regular price, but Standards New Zealand (SNZ) has warned that this is a scam.

If you want to be sure of getting the right document, stick to buying it through SNZ.

Training advisor boost in Canterbury

BCITO is gearing up for increased training and apprentice demand in 2013 coming from building growth in Christchurch and Auckland.

The training body has hired 10 new training advisors in Christchurch so far and is hiring new people for Auckland too.

BCITO also offers a service putting employers and apprentices in touch with each other, on 0800 422 486. Apprentices looking for work should make sure they are on the BCITO database.

HAMMER 'N' NAILS



> Continued from previous page

have contract forms for their members, or you can use NZS 3902:2004 *Housing, alterations and small buildings* contract from Standards New Zealand. NZIA also has contracts for purchase.

There are four main types of contract in residential construction:

Full contract

The builder is the main contractor with full responsibility for the job, hiring subcontractors and buying materials.

Managed labour-only contract

The builder manages the building site, but the homeowner supplies materials and hires subcontractors who are supervised by the builder.

Labour-only contract

The builder provides only the skills and labour – someone else assumes the role and responsibilities of main contractor.

Charge-up or cost reimbursement contract

The builder is the main contractor, responsible for labour, materials and subcontractors, but there is no contract price. Instead, the builder charges the actual cost of the job as the build progresses. Charges are based on agreed labour rates and materials costs with a margin (typically 10%) added.

The choice of contract depends on many things, including the level of trust between the parties and the experience of the client – while an experienced developer and builder may work well together under a labour-only contract, it will be more difficult for an inexperienced homeowner to manage their own project and worksite.

The requirement for contracts on residential jobs over \$20,000 is included in the Building Amendment Bill (Number 4) currently before Parliament.



Mouth piece

One of the great things about the construction industry is that it is big and diverse enough to have a place for anyone.

We need more engineers in the industry, but we equally always need trades and labour. We are also the work destination for plenty of young people, and their youth, and the experiences everyone has as part of being young, always add an extra interest to the worksite. The construction industry has a century-long tradition of older people teaching and mentoring younger people, and you see this every day on the construction sites. This happens whether the young ones are in formal training or just needing to be able to carry out specific tasks to make the team function.

Yes, we do get the odd dodgy young guy that needs to be straightened out, but on most worksites, there is an older guy who was just like that once themselves. I am amazed at the transformation that we see in our apprentices over the 4 years they are usually with us. That dodgy young guy with the mullet, slouch and an attitude, whose dad is desperate to get him a job, often turns up at graduation mature, head high with a proud family.

The BCITO is just at the end of its national Apprentice of the Year competition. No one can help but be impressed with the calibre of the hundred odd young people who entered. If you get to meet these guys, you can only be optimistic that the future of this industry is in good hands.

So here's to all the young blood in this industry and a salute to everyone else who has helped them along the way. All we need now is for the recession to ease and activity to lift so that we can all put that skill and enthusiasm to work.

Ruma Karaitiana, Chief Executive, BCITO



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villas

bungalows

art deco

1940-60s

1970s

compliance

Concrete masonry control joints

Concrete masonry blocks shrink as they dry out. If you are building a single-skin concrete block wall, you need to add shrinkage control joints:

- at 6 m maximum centres generally
- at internal corners, within 600 mm of the corner on both walls
- for external corners:
 - within 600 mm of the corner of one wall where the next shrinkage control joint on the adjacent wall is not more than 5.2 m away
 - within 3.2 m of the corner on adjacent walls
- at changes in wall thickness
- at wall height changes of more than 600 mm.

Specific detail requirements are:

- make the joint width 10 mm to fit in with mortar joint widths
- stop the horizontal reinforcing each side of the joint

- at each horizontal bar install an 800 mm long lapping bar across the joint with one end able to allow longitudinal movement (reinforcing in bond beams must be continuous across a shrinkage control joint)
- install a vertical bar and filled cell on each side of the joint
- carry the joint through the finish with plaster or EIFS claddings.

Create the vertical joint with full and half blocks. Use closed-end blocks to create a neat straight joint free of grout. Alternatively, the gap can be filled with a 10 mm compressible filler board, which is removed after the grout has cured. Seal the completed joint with a flexible sealant over a backing rod.

Joint details and sealant selection must be specified by the designer and shown on the building consent documentation.

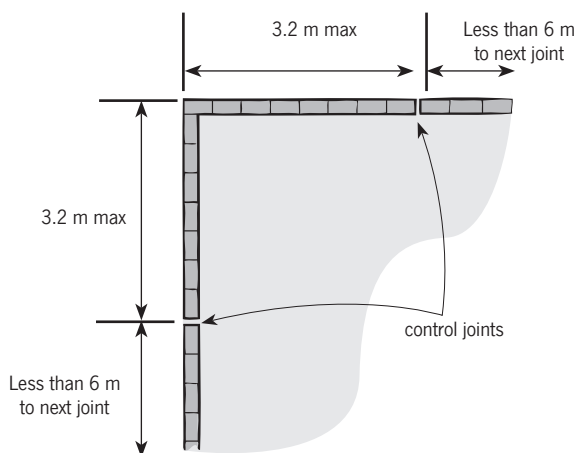
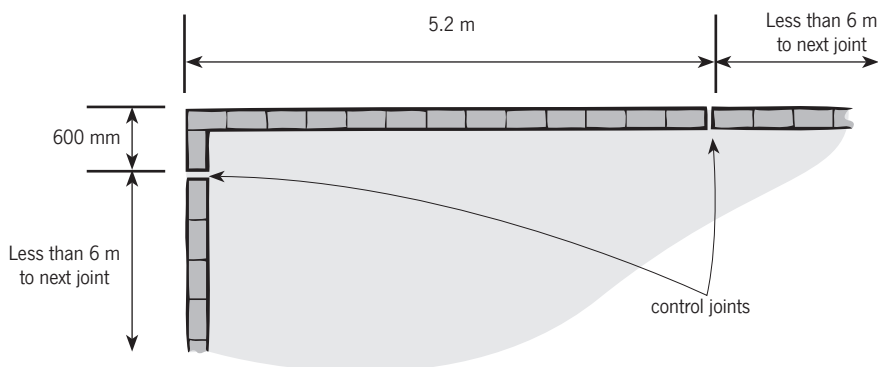


Figure 1. Location of control joints for shrinkage

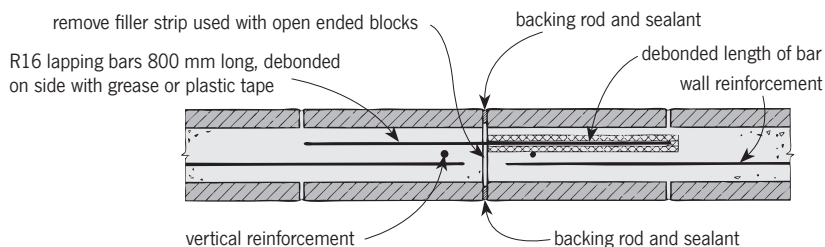


Figure 2. Control joint detail

build



Do you get your **free Build** magazine? All building contractors who are in the business of building and have paid a Building Research Levy in the current year can receive BRANZ's *Build* magazine for free. This Levy is paid as part of the building consent fee on all construction projects over \$20,000. If you are missing out on your free copy of *Build*, call 0800 80 80 85 (press 2) or email vera.chan@branz.co.nz.



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COMPETITION Win!



A DeWalt work stand/mitre saw stand

The DWX725B-XE heavy duty work stand has aluminium construction and compact design for easy transport, yet is built to handle tough jobs. Leg lock levers allow fast and easy set-up. Comes complete with mounting brackets for a mitre saw.

The prize is provided courtesy of The Tool Shed.

All you need to do to win is tell us the name of the mystery tool (above right).

Email your answer to buildersmate@branz.co.nz. Put "December Competition" in the subject line. The message should include your answer, your name, postal address and phone number. One entry per entrant please.

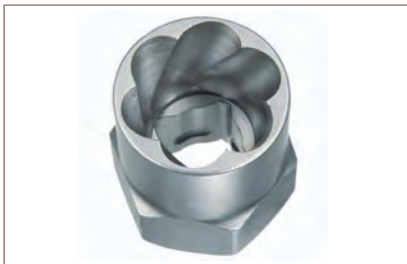
Don't forget to tell us where you picked up your copy of *Builder's Mate*! The winner will be the first correct entry drawn at 9 am on Friday 11 January 2013. Details will be posted on the BRANZ Ltd website (www.branz.co.nz) and in the next edition of *Builder's Mate* due out on 1 February 2013.

Terms and conditions:

Entry is open to all New Zealand residents except employees and immediate families of BRANZ and The Tool Shed shops. The competition will close on Friday 11 January 2013. The prize is not transferable for cash. The judge's decision is final. No correspondence will be entered into.

?

Here's a tool
What is it?



Worth \$200!



Winner of the October competition was Bruce Dawson of New Plymouth. The tool was a pipe bender. Bruce wins a Bosch multifunction tool worth \$259.

What's wrong with these PICTURES?

1

TYPICAL HOUSE AND GARDEN



2

EIFS CONSTRUCTION



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Standards referred to can be purchased from Standards New Zealand.
Tel: 04 498 5991 or www.standards.co.nz.

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04 237 1170

1. The dense planting hard against the base of the house will greatly reduce subfloor ventilation, increasing the risks of subfloor moisture problems.
2. The uncoated polystyrene sheet on the left (waiting for plaster cladding to be applied) is hard down onto the flashing, and the gap between the weatherboards and the flashing on the right is less than 35 mm given in ES/AS1.

Answers: