

builder'smate



INDUSTRY NEWS

Financial benefits in apprenticeships

New research has blown apart the myth that university graduates make more money than apprentices.

Research firm Berl found apprentices have more money than graduates for most of their working lives. Its modelling found that apprentices start earning money and contributing to KiwiSaver earlier, and buy a home and pay off the mortgage earlier. At retirement, there is little financial difference between people who went to university and those who took an apprenticeship.

The Industry Training Federation commissioned the study.

Fees-free training

New Zealand students who finished school in 2017 or will finish in 2018 now qualify for a period of fee-free tertiary education or industry training. Some adults also qualify.

Fees-free covers eligible industry training programmes for up to 2 years. You can begin training any time in 2018, and you will be eligible for your next 24 months fees-free.

You can find more at www.feesfree.govt.nz.

BOARD AND LODGING

Leaky homes and earthquakes may have hit the popularity of some types of wall cladding, but not bevel-back profile weatherboards – their use has surged in the last decade. Here is a look at compliant bevel-back timber weatherboards.

Changes in moisture levels and temperature can lead to movement in timber weatherboards, which can lead to water getting through laps. The same movement also provides a solution, however, allowing drainage and drying.

Specific requirements for installing timber weatherboards sit in section 9.4 of Acceptable Solution E2/AS1. This covers horizontal

bevel-back and rebated bevel-back, horizontal rusticated, vertical shiplap and vertical board and batten. Other profiles must be submitted for consent as an alternative method.

Key requirements around installing horizontal bevel-back timber weatherboards:

- Drill boards for fixings at joints and board ends. >

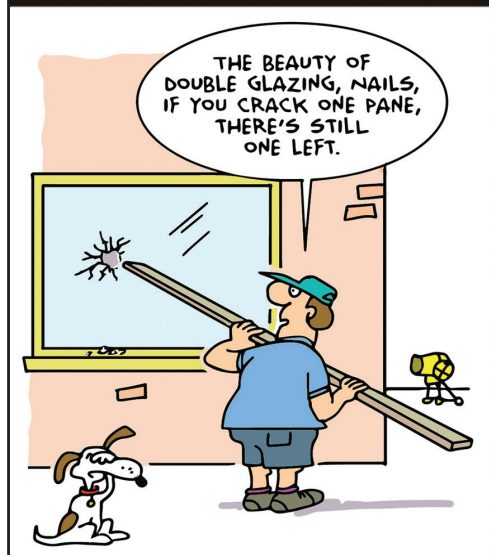


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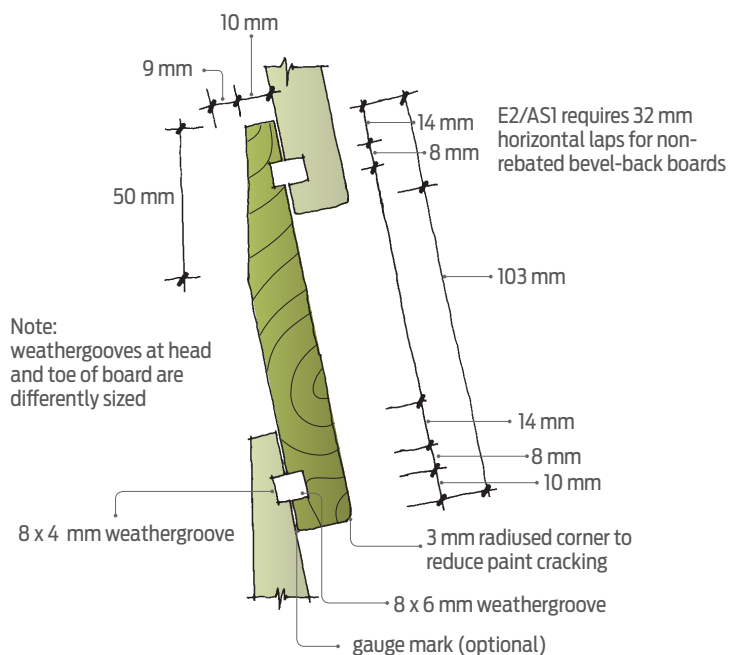


Figure 1. Ex 150 x 25 mm bevel-back weatherboards.

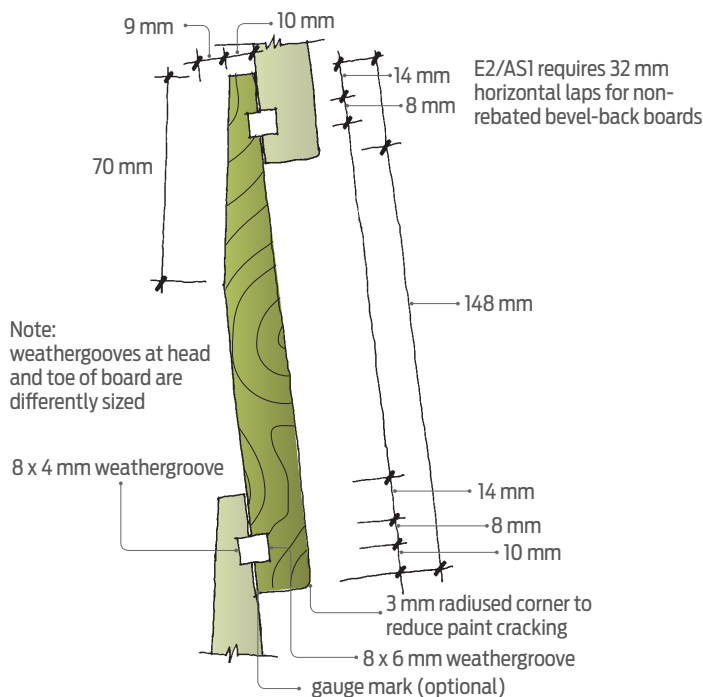


Figure 2. Ex 200 x 25 mm bevel-back weatherboards.

- Cut ends of painted boards must be primed.
- Laps must be a minimum 32 mm for non-rebated bevel-back boards.
- There must be a drainage cavity for an E2/AS1 risk score higher than 12.
- Fix to each board with single nailing located 10 mm above the top edge of the preceding board.
- To allow movement, do not nail through the laps.

- Fit corrosion-resistant soakers over joints.
- Weatherproof external corners with one of:
 - cover boards and scribes
 - mitred joints with backflashing
 - tight mitred joints with corrosion-resistant corner soaker with minimum 15 mm cover over weatherboards.
- At internal corners, boards are progressively installed with the board at right angles scribed to the one just installed. See BRANZ House Building Guide Figure 17.19.
- Weatherproof internal corners with a corrosion-resistant flashing behind the boards.

A weatherboard profile can affect how vulnerable it is to water getting in. Research and experience show that the profiles shown here reduce the risk of leaks. Actual measurements of boards available may differ slightly from those given here.

For more information:

- NZS 3617:1979 *Specification for profiles of weatherboards, fascia boards, and flooring*
- BRANZ Bulletin 411 *Recommended timber cladding profiles*
- BRANZ House Building Guide section 17.



Mouthpiece

With some areas getting record high temperatures this summer [or close to it], it's a good idea to check that you're making allowances for the heat in your work.

First up, look after yourself. Drink plenty of water, wear a hat and don't get burnt. Keep an eye on your mates too.

There are plenty of tasks where you have to make changes to allow for high temperatures:

- Time your painting or application of liquid roofing membranes to morning or later in the afternoon. Avoid the hottest time of day.
- Think about the best time for sealant application – hot midday temperatures can reduce elasticity. Sealant can also skin over quickly, which can look as if curing is more advanced than it is.
- Be aware that open times or pot life for adhesives, paints and other similar products can reduce.
- No rain for a while can bring more dust and dirt contamination.
- When placing concrete, higher temperatures mean you need to plan for:
 - reduced setting times and early stiffening
 - increased rates of hardening
 - possible 28-day strength loss

- increased tendency for plastic shrinkage
- difficulties in placing and finishing
- an increased risk of unplanned cold joints.
- Ensure curing of newly laid concrete starts as soon as possible.
- Control moisture loss from mortar and concrete masonry units or bricks. Mortar that dries too quickly can cause shrinkage cracking and reduce the mortar bond. Hot masonry units can also accelerate the drawing of moisture from the mortar.
- Think about the best time to install materials with reflective surfaces – glare can be a big headache at the brightest time of day.

And on that bright note, all of us behind this first issue of *Builder's Mate* for the year wish you a safe and prosperous 2018!

WHOSE JOB IS THAT?

Building or renovating a house can involve a lot of people working together. But in the law – in particular, the Building Act 2004 – certain tasks are the responsibility of particular individuals. Here's a quick guide to who is responsible for what.

Providing building plans and specifications that comply with the Building Code

- The designer. ['Designer' has a very broad meaning here. It isn't just a licensed designer or architect but anyone who has input into the plans and specs or advises on compliance of building work with the Building Code.]

Obtaining a building consent before work starts

- The property owner or someone they contract to be their agent.

Checking to make sure that a building consent application complies with the Building Code

- The building consent authority.

Ensuring building work complies with the Code

- The builder. This applies whether the work requires a building consent or not. ['Builder' has a very broad meaning here. It isn't just an LBP or qualified carpenter but anyone doing building work.]

Ensuring that building work complies with a consent and any plans and specifications

- The builder [with the same broad definition as above].

Checking that building work has been carried out in accordance with any building consent that applies to it

- The building consent authority.

Ensuring restricted building work is done in accordance with the Building Act

- A licensed building practitioner.

Ensuring that a building product, if installed according to the manufacturer's instructions, will comply with the Building Code

- The product manufacturer or supplier.

Ensuring compliance with notices to fix

- The owner.

Obtaining a Code Compliance Certificate

- The owner.

Just because a task is the responsibility of one individual, it doesn't mean others carry no responsibility in that area. For example, it is the owner's responsibility to get a building consent where the work requires it. However, if an LBP carries out work that requires consent but doesn't have it, they can still be disciplined.



build

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Competition

Here is a tool



What is it?

WIN!



**A ToolShed
chainsaw
worth \$299**

This 450 mm [18 inch] 45.2 cc chainsaw is fitted with an Oregon chain and bar and a quality Walbro carburettor, NGK spark plug and top-end bearings.

The prize is provided courtesy of The ToolShed.

All you need to do is tell us the name of the mystery tool at the top of the page.

Email your answer to buildersmate@branz.co.nz. Put "February Competition" in the subject line. The message should include your answer, your name, postal address and phone number. One entry per entrant please.

Don't forget to tell us where you picked up your copy of **Builder's Mate**! The winner will be the first correct entry drawn at 9 am on Friday 16 March 2018. Details will be posted on the BRANZ Ltd website (www.branz.nz) and in the next edition of **Builder's Mate** due out on 1 April 2018.



Winner of **Builder's Mate 87** is Zaida Dimaun of Auckland. The mystery tool was a clamping mitre box. Zaida wins a Milwaukee multi tool kit worth \$399.

Terms and conditions:

Entry is open to all New Zealand residents except employees and immediate families of BRANZ and The ToolShed shops. The competition will close at 9 am on Friday 16 March 2018. The prize is not transferable for cash. The judge's decision is final. No correspondence will be entered into.

+ BUILDERS' APPS

In this series, we introduce some great apps and tools for your smartphone. The apps can be found in the iPhone store and/or the Android store. If you know any you'd like to recommend, email us the details at buildersmate@branz.co.nz.



MY CONCRETE

This Allied Concrete app gives real-time mapping and arrival estimates to help organise work on site efficiently. Weather details identify cracking risks to help you get an optimal pour.



DISTANCE MEASURES

These apps use the camera in your phone to give an approximate measure of the distance and height of an object. The calculation is made by trigonometry. Video tutorials are available.



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Produced for the building and construction industry, our books are packed with easy-to-read diagrams and information supported by good practice guidance, research and the New Zealand Building Code, Acceptable Solutions and Verification Methods.

www.branz.nz/sale

Sale ends 28 March 2018. T&C apply.

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