

builder'smate



INDUSTRY NEWS

New asbestos guidance

On 3 November 2016, the new *Approved Code of Practice: Management and Removal of Asbestos* came into force. It is downloadable from the WorkSafe website: construction.worksafe.govt.nz

The Code of Practice replaces the old *New Zealand Guidelines for the Management and Removal of Asbestos*.

You may find asbestos during renovations or demolitions – roughly 25,000,000 m² of asbestos fibre-cement roof and wall claddings were installed in New Zealand before 1985.

Packing a pile

Older houses with suspended timber floors sometimes need packing inserted between piles and bearers, perhaps after earthquakes or when floors have sagged over time. MBIE has produced some help for this, including drawings, guidance documents and a video. Although produced specifically for the Canterbury rebuild, the advice applies anywhere in New Zealand.

Simple packing to a few piles may not require a building consent, but significant structural repairs will. A floor that needs releveling more than 100 mm may need rebuilding.

Find more at: www.building.govt.nz

GETTING WARMER

An updated version of the standard that explains how to install insulation in houses was released recently. There's new information in it. Here are some of the key points.

NZS 4246:2016 *Energy efficiency – Installing bulk thermal insulation in residential buildings* was released at the end of August, replacing the 2006 version. It shows the correct way to install insulation to achieve the intended thermal performance and durability while protecting the health and safety of installers and occupants. It covers both new construction and retrofits. It

also acknowledges the requirement to improve the levels of insulation in rental properties.

The first obvious change is the different title from the 2006 version, with the addition of the word 'bulk'. This makes it clear that the new standard only covers bulk thermal insulation – guidance on reflective foil insulation has been ➤

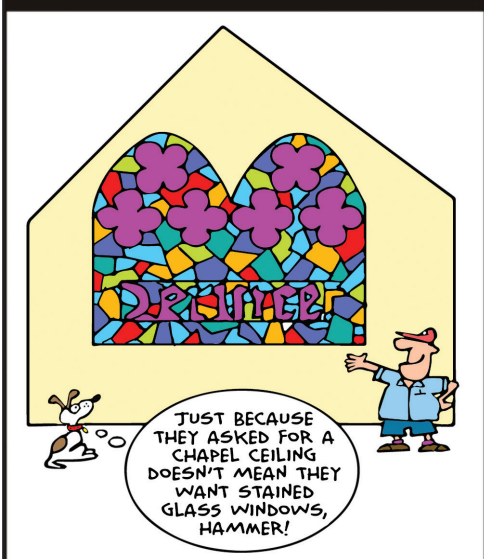


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HAMMER 'N' NAILS





dropped. This is in keeping with the ban on retrofitting or repairing underfloor foil insulation [including the ban on retrofitting foil insulation in rental properties under the Residential Tenancies [Smoke Alarms and Insulation] Regulations 2016].

In fact, there is a new section on managing the electrical safety risks presented by foil insulation.

There is research-based information about the impact that poor installation can have on thermal performance. For example:

- just a 16 mm gap around the edge of ceiling insulation can slash the effective R-value almost in half
- in walls, sloppy installation can reduce the R-value to nothing
- when a 100 mm thick R2.0 product is squashed down to 80 mm, its R-value drops to approximately R1.6.

The requirement that building work on an existing house cannot leave its Building Code performance worse than it was before (an obligation expanded in the Building Act in 2013) is addressed here. If existing insulation is removed, it must be replaced with insulation of equal or better performance (equal or higher R-value).

The revised standard provides a lot more information about recessed downlights – 15 pages with numerous drawings covering downlights with different ratings. The standard references AS/NZS 60598.2.2:2016 *Luminaires – Part 2.2: Particular requirements – Recessed luminaires*.

The new standard supersedes the insulation guidance in the old NZECP 54 (*New Zealand Electrical Code of Practice for the Installation of Recessed Luminaires and Auxiliary Equipment*).

NZS 4246:2016 includes concrete slabs on ground now, with step-by-step guidance and illustrations for both generic under-slab and slab perimeter insulation.

It also includes steel-frame construction. Thermal breaks in steel framing are mentioned but not explored in detail.

Appendix A gives an easy-to-follow guide to minimum insulation clearances in the ceiling and under the floor, around things such as metal chimneys and flues or plumbing penetrations.

Finally, there is more information on safety, aligning with the Health and Safety at Work Act 2015.

The revised standard NZS 4246:2016 can be downloaded at no cost from Tenancy Services website [www.tenancy.govt.nz/maintenance-and-inspections/insulation/].



Mouthpiece

Use of non-compliant building products is a cause for concern across all trades – and, in the case of electrical goods, could pose a fire risk.

The grey market in 'dodgy products', highlighted recently by Master Plumbers, is a growing problem.

Master Electricians has advised its members against installing any electrical product that does not have a Supplier Declaration of Conformity (SDoC) to show it meets New Zealand standards. Unless a product has bona fide supporting documentation, it's impossible to tell if it complies.

Reputable retailers are unlikely to sell non-compliant products because they recognise the implications of doing so. However, increasing numbers of these products, including some electrical items and lights, are being sold, often online or through 'pop-up' shops.

Using unlicensed workers and non-compliant products is a recipe for disaster. It is a potential leaky building scenario. It will affect insurance, and problems or faults with these products may not manifest until some time after installation – by which time the vendor has long gone.

If a homeowner supplies their own products for installation by an electrical contractor, the warranty for the product is their responsibility and they must provide an SDoC. The homeowner should check with the supplier that the product has a correct SDoC and that it meets the appropriate New Zealand standard.

The contractor and homeowner should ask themselves 'Does this product comply with New Zealand standards?' If it doesn't, it should not be for sale here and should not be installed.

Master Electricians supported a call by the construction sector for government to investigate how certification could be introduced and improved across the entire building sector, not just electrical.

Neville Simpson
CEO
Master Electricians

Building without consent

Major building work usually involves getting a building consent at the start and then a Code compliance certificate at the end, but things don't always go that way.

Work may have been done that didn't have consent (but should have) or may have been carried out urgently.

In these cases, the property owner (or building practitioner acting for them) can apply to a territorial authority (TA) for a certificate of acceptance. [A building consent cannot be issued for work that has already been done.]

A certificate of acceptance (COA) is a statement from the TA that the building (or part of it) complies with the New Zealand Building Code. There can be exemptions listed for areas the TA couldn't inspect, such as foundations or closed-in walls.

The TA's liability for issuing a certificate is limited by how much of the building work it could actually see.

The COA is based on the Building Code at the time of the application, not the Code that applied when the building work was actually done, which may have been years earlier.

Applying for a COA will require just as much evidence of Code compliance as applying for

building consent in the first place but with as-built drawings, specifications and photographs included.

If you can't demonstrate compliance with the Building Code to the TA's satisfaction, it can refuse to issue a COA. It must say in writing why it has refused.

Notice to fix

One of the consequences of a refusal is that the TA must then issue a notice to fix. This legal notice requires the owner to take remedial action to make the building work compliant or to take it down. The notice is issued to the building owner and the person carrying out or supervising the work if applicable.

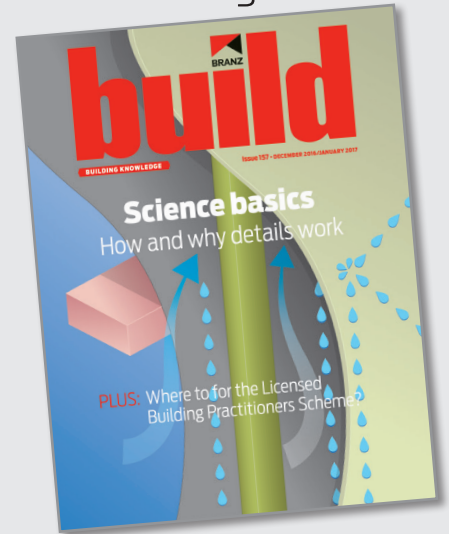
The TA issuing the notice to fix must explain what outcome it wants to see. This must be achievable and a reasonable timeframe set.

If you are involved with building work that has been done without a consent – which may have been done as far back as July 1992 when the consent process came in – talking to your building consent authority/TA is good first step.



build

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Competition

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All you need to do to win is tell us the name of the mystery tool (above).

Email your answer to buildersmate@branz.co.nz. Put "December Competition" in the subject line. The message should include your answer, your name, postal address and phone number. One entry per entrant please.

Don't forget to tell us where you picked up your copy of **Builder's Mate**. The winner will be the first correct entry drawn at 9 am on Friday 6 January 2017. Details will be posted on the BRANZ Ltd website (www.branz.nz) and in the next edition of **Builder's Mate** due out on 1 February 2017.



Winner of the August competition, Peter Frame, with his prize from The ToolShed, Hastings.

The winner of the **Builder's Mate 80** competition was Craig Slemint of Damaru. Craig wins a Milwaukee tool bag, power tool accessories and hand tools worth \$250. The mystery tool was a sliding bevel.

Terms and conditions:

Entry is open to all New Zealand residents except employees and immediate families of BRANZ and The ToolShed shops. The competition will close at 9 am on Friday 6 January 2017. The prize is not transferable for cash. The judge's decision is final. No correspondence will be entered into.

+ BUILDERS' APPS

In this series, we introduce some great apps and tools for your smartphone. The apps can be found in the iPhone store and/or the Android store. If you know any you'd like to recommend, email us the details at buildersmate@branz.co.nz.



PHOTO COLLAGE

If you want to put together step-by-step photographs of a construction job, for your own records or for clients, photo collage apps make the job easy. There is a wide choice of features.



NOTES

Apps such as Google Keep and Evernote allow you to create notes that include images, audio, sketches and more and sync across devices. Some include time or (very useful) location-based reminders.



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Standards referred to can be purchased from Standards New Zealand. Tel: 0800 782 632 or www.standards.co.nz.

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