

BUILDER'S MATE

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Indecent exposure

Building in very hot, windy or wet conditions can create challenges such as meeting construction programmes and not over-exposing building materials to the weather.

Examples of material and finishes that have limited weather exposure periods are:

particleboard – will swell irreversibly if it gets wet and the surface will become rougher – span and shear properties also reduce

flexible wall underlays – (building papers/synthetic wraps) – are degraded by the ultra violet (UV) rays in sunlight, and by wind and water

timber primers – will be degraded by UV

kiln-dried timber – must be kept dry

polystyrene – has a risk of surface oxidation due to UV

strippable films on roofing/flashings – become difficult to remove if exposed for too long.

Recommended maximum weather exposure times (derived from manufacturers' literature where published) are given in the table on the next page. Builders should have a copy of the manufacturer's specific exposure and application requirements where available.

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INDUSTRY NEWS

Licensing update

Licensing is now open for roofers, bricklayers and blocklayers, and external plasterers, bringing to 10 the number of classes for practitioners. For more information, or a copy of the document *Is Licensing for Me?*, call the licensing helpline on 0800 60 60 50 or email licensing@dbh.govt.nz.

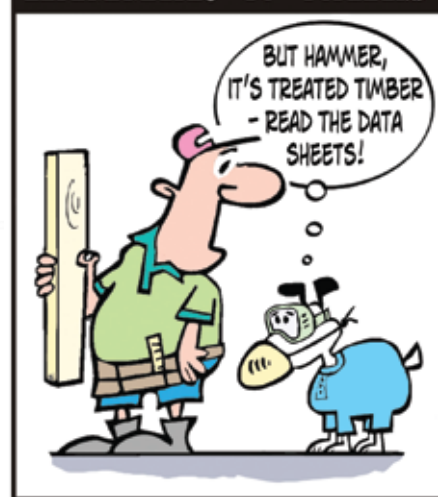
Lintels and beams calculator

An online calculator has replaced the paper version of the BRANZ *Guide to Lintels and Beams*. Designers can work out the options for a range of beam applications and then print out the details and include them in building consent applications.

You only pay when you print out the final calculation – you can make calculations, save them, and return later to make amendments, at no cost.

The calculator is in the Toolbox on the BRANZ homepage www.branz.co.nz

HAMMER 'N' NAILS



Win!
A Stanley FatMax mobile tool kit
Worth over \$450!



Inside:

Material	Recommended maximum exposure time	Comments
particleboard	typically eight weeks, including weather exposure before installation (12 weeks if it contains moisture-resistant additives)	no exposure is the best option – any exposure will affect surface and edges
Kraft building paper	30 days	it should not get wet during installation or in-situ
synthetic building wrap	30 or 60 days depending on product	
timber primers	typically one month in summer or up to six weeks in winter because of lower UV	some pre-primed weatherboards have a maximum exposure time of three weeks
kiln-dried treated timber	no specific exposure times found	minimise exposure – timber must be allowed to dry if it gets wet
polystyrene	yellow surface oxidisation will be visible after two weeks' exposure in summer and quite obvious after four weeks	all of the yellow hazing must be removed before any plaster finish is applied
strippable films	remove within one day	
treated and untreated plywood bracing sheets/ membrane substrate	three months, but preferably less	protect sheets from the weather – it must be dry if a roof membrane is installed
plywood wall cladding	no specific exposure times found (but exposure will affect the surface condition of the product)	any coating should be applied immediately after installation to prevent surface wetting, staining or fading
fibre-cement sheets	coating required within 90 days by some manufacturers	apply the coating immediately after installation to prevent surface wetting and staining

Dribblings from the Old Geezer



There comes a time when we have to admit that we're not the 'Alpha Male' any more. But unlike the animal kingdom, we don't have to be dethroned by conquest. We can even help the process. If we respectfully pass over our 'smarts' to the dynamic young, then we're strengthening the industry ... which must be good.

What brought this on? I recently met a plumbing friend who I hadn't seen for 20 years. Nowhere near retiring age, he had nevertheless handed over the mantle of his business to a younger man and now only works a few days a week.

He reflected how we come to the fore by drive and vigour, stay ahead through cunning and experience, and plateau-off at a level that is about as good as we're going to get. We hardly notice our subsequent physical decline. My mate had seen a house under construction and told me that the young plumber had done in three days what would now take him five. He was pleased that he'd cut his working days and also proud that his successor was doing well. What a refreshing change from the grizzles we hear about the young and how useless and lazy they are. I feel an ad coming on ... yeah right!

Des Molloy



ADVISORY HELPLINES

For the building and construction industry

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For the home owner and public enquiries

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Calls cost \$1.99 per minute plus GST

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Making basements waterproof

Taking care with waterproofing can help reduce the risk of water getting into a basement down the track. Even a very good quality dense concrete wall won't prevent the passage of water vapour. In time it can shrink and crack, allowing free water through. Concrete masonry is porous.

The key way of protecting a concrete wall is to place a waterproof membrane over the complete wall area that is underground – a process sometimes called 'tanking'. The same membrane (or a compatible one) should also be used under the floor. Choose a quality membrane which the manufacturer states can be used in the relevant situation. Form a good overlap between floor and wall membranes, and seal/tape the joint (see the drawing below right) as recommended by the manufacturer.

Make sure the membrane doesn't get cut or punctured during construction. You can buy purpose-made protection products, or you can use rigid sheeting such as fibre cement sheeting or extruded polystyrene. This sheeting protects the membrane from damage from sharp stones when the backfilling is done with drainage metal. Leaving slab edge boxing in place until just before the membranes are lapped will also help protect the slab DPM.

Having the right subsoil drainage behind a basement wall is important. The drawing shows a slotted drain below the basement floor level, with metal above and below it, and a filter cloth to prevent too much fine silt from getting down and blocking the drain. The drain should carry the water to open air beyond the wall.

Waterproofing a basement isn't a cheap process, but it costs a lot less than repairs would at a later stage.

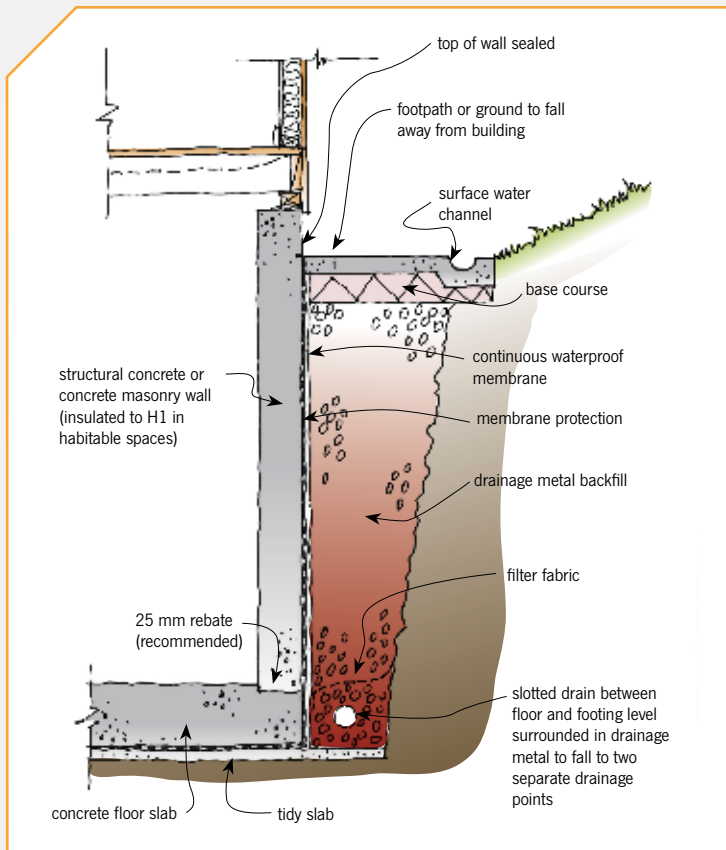


Figure 1: Elements of basement waterproofing.

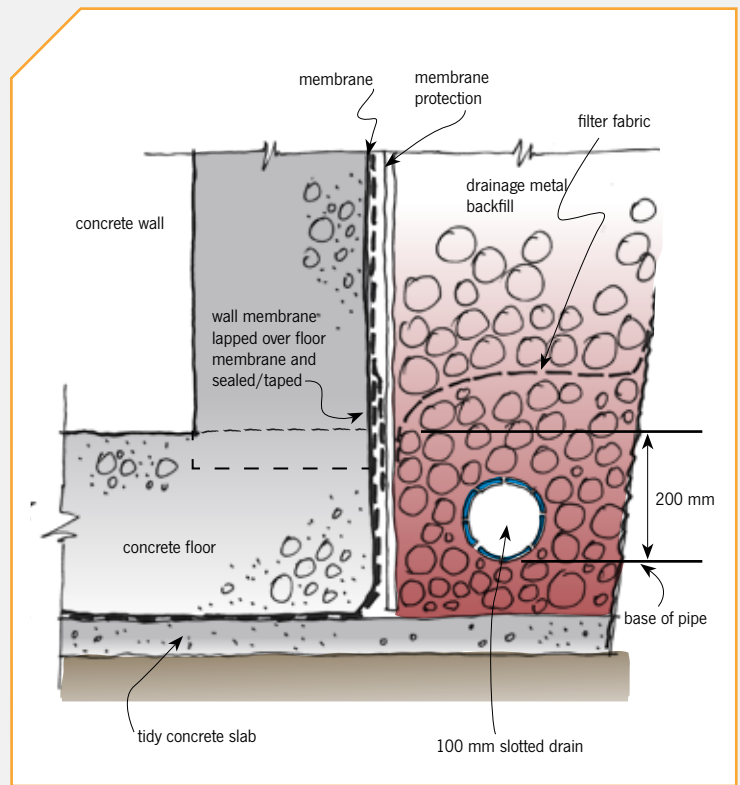


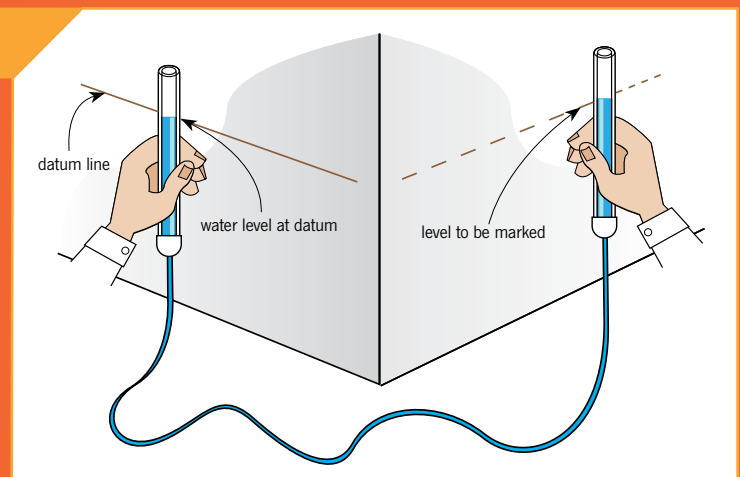
Figure 2: After the wall is cast, the floor membrane is fixed on the wall and the wall membrane is lapped over it and sealed/taped.

AT A GLANCE

On the level

It is easy to check the level between two points within view of each other, but what about two points around a corner? One simple answer is a water level. This is essentially a flexible rubber or plastic pipe with water in it. Provided there are no air bubbles, the water level at one end of the pipe will be the same as the level at the other end. You can make it more accurate by adding glass tubes to either end of the pipe.

At least one brand of water level is also available commercially in New Zealand.



COMPETITION Win!



A Stanley FatMax mobile tool kit Worth over \$450!

We are starting the year with a cracker prize! The Stanley Pro Mobile Tool Chest comes with a Stanley FatMax tape, level, hammer, jab saw/hand saw/hacksaw, chalk line reel set, knife, socket set, combination square and 10-piece Stanley screwdriver set.

The prize is provided courtesy of The Tool Shed.

All you need to win is tell us the name of the mystery tool (above, right) and what it's used for.

Send us your answer plus your name, address and telephone number on the back of an envelope. Post it (you don't need a stamp) to: Builder's Mate 34, Mystery Tool Competition, FREEPOST BRANZ, Private Bag 50 908, Porirua 5240. One entry per entrant please.

Don't forget to tell us where you picked up your copy of *Builder's Mate*! The winner will be the first correct entry drawn at 9 am on Friday 27 February 2009. Details will be posted on the BRANZ Ltd website (www.branz.co.nz) and in the next edition of *Builder's Mate*, due out on 1 April 2009.



What is the name of this tool pictured below and what is it used for?



Terms and conditions:

Terms and conditions: Entry is open to all New Zealand residents except employees and immediate families of BRANZ Ltd and The Tool Shed shops. The competition will close on Friday 27 February 2009. The prize is not transferable for cash. The judge's decision is final. No correspondence will be entered into.



BUILDER'S MATE WINNERS

The winner of the **BM 33** competition was Dave Read of Rotorua. The mystery tool was a compass plane which has a flexible face that can plane concave or convex surfaces. The prize was a Makita 18 volt Li-ion cordless drill/driver.

BLOKES on the job

BEN BOWLING

building in Whangarei



Favourite tool

Nail gun.

Favourite tip

Get it right from the start.

SAM BELL

building in Whangarei



Favourite tool

Dogyu bar.

Favourite tip

Double check.
Wear socks with jandals.

LIAM FREANEY

building above Taylor's Mistake, Christchurch



Favourite tool

Quickgrip clamp.

Favourite tip

Work where there is surf nearby.



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Standards referred to can be purchased from Standards New Zealand.
Tel: 04 498 5991 or www.standards.co.nz.

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Know someone on the job? Send us details of his or her favourite tip and tool and you could win \$50-worth of BRANZ books.